

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: May 20, 2004

ITEM NO. 3

CASE NUMBER/
PROJECT NAME

43-DR-2003#2
96th Street Improvements: Shea Blvd to Redfield Rd

LOCATION

96th St From Shea To Redfield

REQUEST

Request approval for round-about & gateway features (including streetlight poles), colors & materials for improvements on 96th St from Shea Blvd to Redfield Rd .

OWNER

City of Scottsdale
22563

ENGINEER

Stantec Consulting Inc
8211 S 48th St
Phoenix, Az 85044
Tom Lenczycki
602-438-2200

ARCHITECT/
DESIGNER

Mccloskey Peltz Inc
One W Elliot Rd Ste 110
Tempe, Az 85284-1310

APPLICANT/
COORDINATOR

Marek Urbanek
City of Scottsdale
480-312-2563

BACKGROUND

Context.

This is a Capital Improvement Project for improvements to 96th Street between Shea Boulevard and Redfield Road.

The existing development along 96th Street:

Corner of Shea and 96th Street = Office, Church

North on 96th Street to Thunderbird = Private schools, Church use, Single family residential, and Horse properties

West of 96th Street from just south of Thunderbird to Raintree = Multi-family residential, Unimproved

East of 96th Street from Thunderbird to Raintree = Single family residential

APPLICANT'S
PROPOSAL

Applicant's Request.

The applicant's proposal is in response to the Board's stipulation made in case 43-DR-2003 for the 96th Street Improvements. The Board asked the applicant to bring back for consideration the following elements:

- Round-a-bout design
- Gateway features
- Street light poles
- Materials
- Colors

Other elements, including landscaping, of the 96th Street project were approved with the 43-DR-2003 case.

Development Information:

Two traffic round a bouts, one at Cholla and one at Sweetwater.

At Sweetwater and 96th Street:

- Lighting for all walls, horse silhouette figure, and center circle tree planter.
- The round a bout circle is proposed with a center landscape planter, exterior curbing, stamped pattern and colored yellow asphalt pavement, 4 equestrian silhouettes (optional) set as if galloping with the flow of traffic around the circle, and directional signs.
- The crosswalks are proposed with decorative stamped pattern and colored yellow asphalt pavement.
- Corner curb and pavement designed for traffic calming and for traffic such as vehicles with horse trailers; with decorative stamped pattern and colored yellow asphalt pavement.
- 10-foot accent wall in the center medians of the cross streets, forming an additional traffic calming device and barrier to encourage traffic to follow designated vehicle lanes.
- Accent wall on the southwest and northwest corners designed with:
 - A 20-foot long curved wall being 2 feet high, and
 - Constructed of desert masonry colored in brown and yellow and tans.

At Cholla and 96th Street:

- Lighting for all walls, horse silhouette figure, and center circle tree planter.
- The round a bout circle is proposed with a center landscape planter which will include a tree and accent plants with traffic directional signs, exterior curbing, and stamped pattern and colored yellow asphalt pavement.
- The crosswalks are proposed with decorative stamped pattern and colored yellow asphalt pavement.
- The corner curb and pavement is designed for traffic calming and for traffic such as vehicles with horse trailers; with decorative stamped pattern and colored yellow asphalt pavement.
- A 10-foot accent wall of desert masonry to match the other walls is shown in the center medians of the cross streets, forming an additional traffic calming device and barrier to encourage traffic to follow designated vehicle lanes.
- “Cactus Acres” monument on the southeast and northeast corners with:
 - A 20 foot by 5 foot desert masonry wall colored in brown and yellow and tans, that steps down to 2 feet;
 - Accented with a corten steel sign panel with cut-out letters and a prickly pear cactus with purple ceramic glaze cactus pads and yellow ceramic glazed flowers and buds;
 - A cut-out “CA” finished with a purple ceramic glaze; and
 - An optional 7-foot tall corten steel horse silhouette sitting on top of the lower 2-foot portion of the wall.
- A 6-foot high masonry screening wall at the right-of-way line in back of the Cactus Acres monument on the northeast corner.

- Accent wall on the southwest and northwest corners designed with:
 - A 20-foot long curved wall being 2 feet high;
 - Constructed of desert masonry colored in brown and yellow and tans;
 - An optional 7-foot tall steel horse silhouette sitting on top of the wall.
- Trail markers being pyramidal in shape, 3 ½ feet high, made up of either natural stone or artificial veneers over the pillar surfaces.

Street Lights:

Two types of street lights are proposed, located specific to established light and pole designs for streets.

The lighting north of Cactus is proposed with a 46-foot high street light consisting of a 4-inch square pole and arm attachment with an oval shaped light fixture. The color of this pole is dark bronze.

The lighting south of Cactus is proposed with a 34-foot high street light consisting of a single 5-inch square pole with a shoe-box shaped light fixture. The color of this pole is dark bronze.

DISCUSSION

Stipulations have been incorporated into staff's recommendation for each of the following items.

Walls and monuments.

6-foot high masonry screening wall. This wall is proposed at the right-of-way line in back of the Cactus Acres monument on the northeast corner of 96th Street and Cactus Road. The proposal does not specify any materials or finish for the wall.

- *The City Code, Section 47. Encroachments, limits the height of concrete masonry or block walls to 2 feet above the adjacent curb in the public right-of-way. If the wall is on the property line of a single-family residential lot, then the Zoning Ordinance regulates the location and height of walls, and allows a 3-foot maximum height in the front yard of this lot facing towards Cholla. The wall will need to be designed in consideration of the City Code and Zoning Ordinance allowances.*
- *This wall needs to be finished on the inside and outside with a masonry finish or stucco treatment. The colors should complement the project colors on the outside facing the right of way; and the development colors on the inside facing the private property.*

Monument and accent lighting.

The proposed lighting will provide illumination of many of the design elements, illuminating them for drivers and pedestrians, as well as providing an enhancement for the design. The lights will be mounted in a 1½ foot high by 24-inch diameter concrete sign base, engineered so that the base becomes the light fixture and the light face is flush to the base. Field construction and setting of

the base will be a key factor in ensuring the correct portion of the design element is illuminated.

- *The lighting is directed upwards, and is not shielded. The zoning ordinance limits this type of lighting to no more than 100 wattage lights.*

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

Kira Wauwie
Project Coordination Manager
Phone: 480-312-7061
E-mail: kwauwie@ScottsdaleAZ.gov

Jayna Shewak
Development Planning Manager
Phone: 480-312-7059
E-mail: jshewak@ScottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
3. Zoning Map
4. Site Plan, Elevation Details
- A. Stipulations/Zoning Ordinance Requirements



City of Scottsdale

PROJECT NARRATIVE FOR CITY INITIATED PROJECTS



43-DR-2003#2

- ☐ Rezoning ☐ Other
- ☐ Use Permit
- ☒ Development Review
- ☐ Master Sign Programs
- ☐ Text Amendment

Case 4/16/04 297-PA-2003

Project Name 96th STREET

Location Shea Blvd to Redfield R.

Applicant MAHEK UPPANEK

Ordinance Section

SITE DETAILS

Proposed Zoning: _____

Existing Zoning: _____

Parcel Size: _____

Height: _____

Parking Required: _____

Parking Provided: _____

Of Buildings: _____

Setbacks: N- _____ S- _____

E- _____ W- _____

In the following space, please describe the project or the request

THE 96th STREET IMPROVEMENTS PROJECT LIMITS ARE
DEFINED BY THE 96th STREET RIGHTS-OF-WAY EXTEN-
DING FROM SHEA BOULEVARD TO REDFIELD ROAD.
IMPROVEMENTS WILL INCLUDE ROADWAY, DRAINAGE,
LIGHTING AND LANDSCAPING. ROADWAY WILL PROVIDE
TRAFFIC CALMING MEASURES, MEANDERING ALIGNMENT,
RAISED MEDANS AND ROUNDABOUTS AT CHOLLA AND
SWEETWATER ROADS. IN ADDITION TO THE ROADWAY
IMPROVEMENTS, PEDESTRIAN, BICYCLE, EQUESTRIAN
PATHS, TRACKS AND LANES WILL ALSO BE IMPROVED
OVERHEAD 12 KV POWER LINE ON THE DISTANCE FROM
POINSETTA TO CACTUS WILL BE CONVERTED UNDERGROUND
STREET WILL RECEIVE NEW LANDSCAPING ALONG WITH
MONUMENT/SIGNAGE FEATURES AND PAVEMENT ENHANCEMENTS

CAPITAL PROJECT
MANAGEMENT

JOB# S 9903

SECTION B.06

PAGE 1 OF 10

(If an additional page(s) is necessary, please attach.) 8-D200021-5 (07/2002)

ATTACHMENT #1

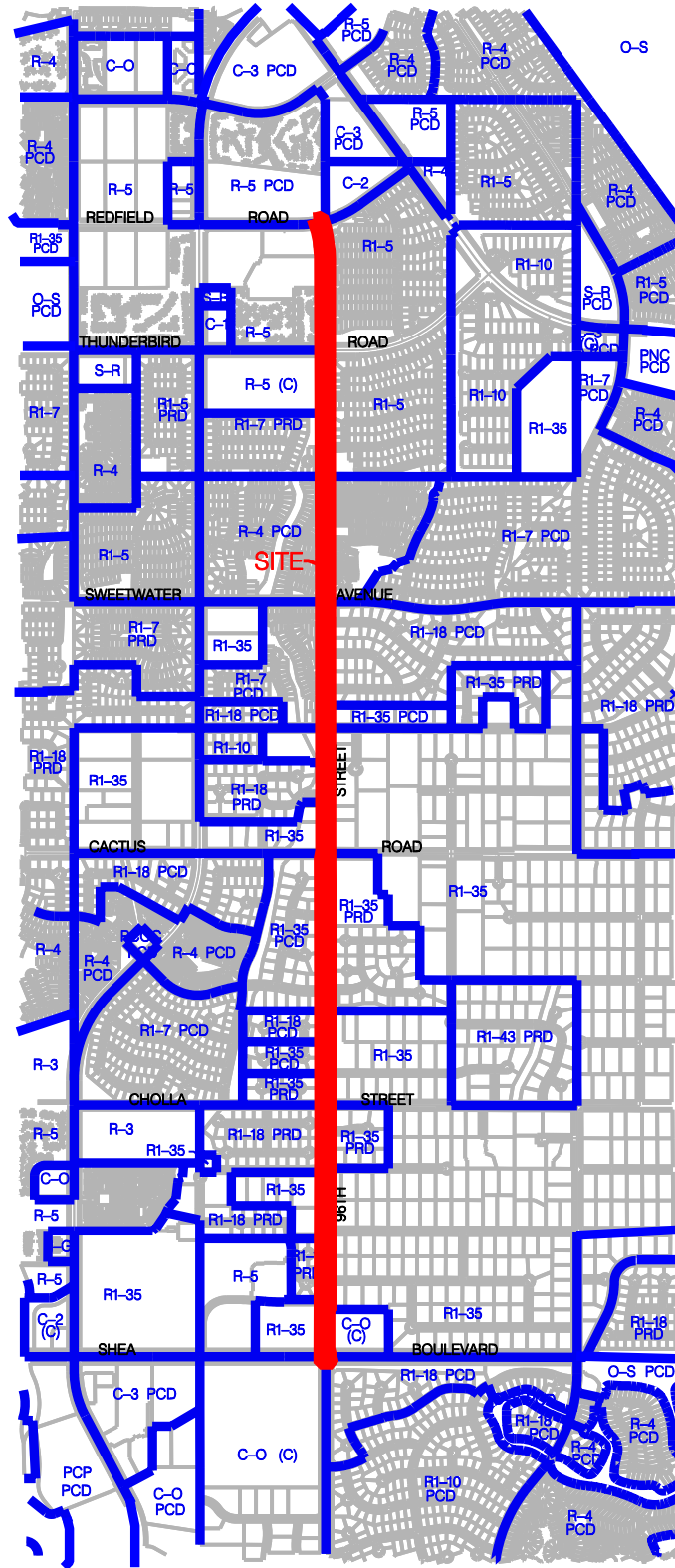


G.I.S. ORTHOPHOTO 2002

43-DR-2003#2

ATTACHMENT #2

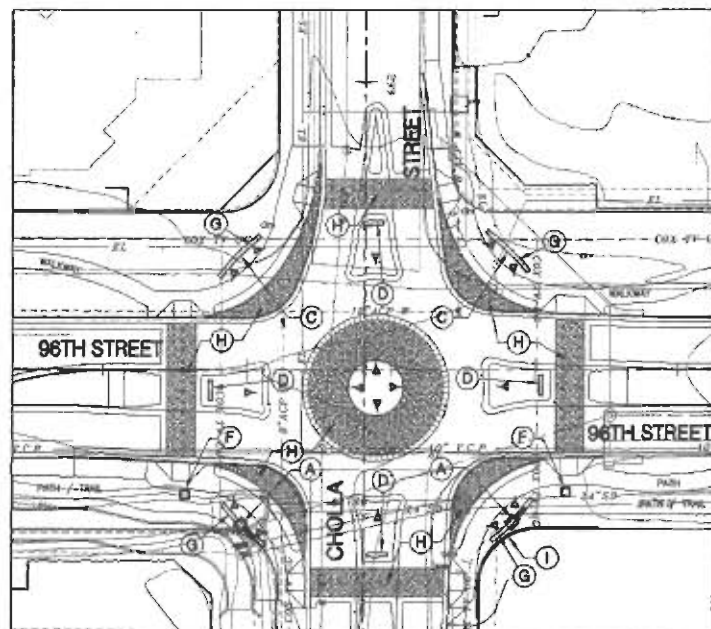
96th Street Improvements -
Shea Boulevard to Redfield Road



43-DR-2003#2

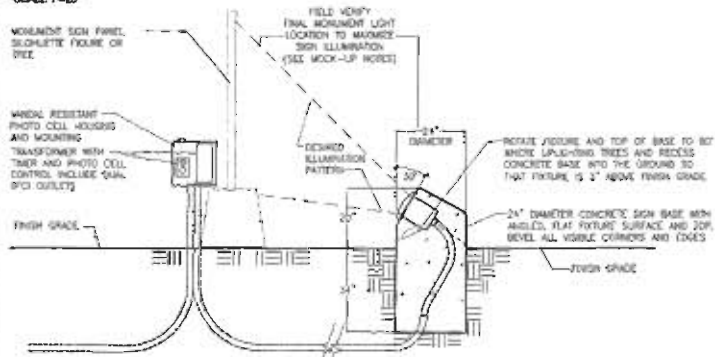
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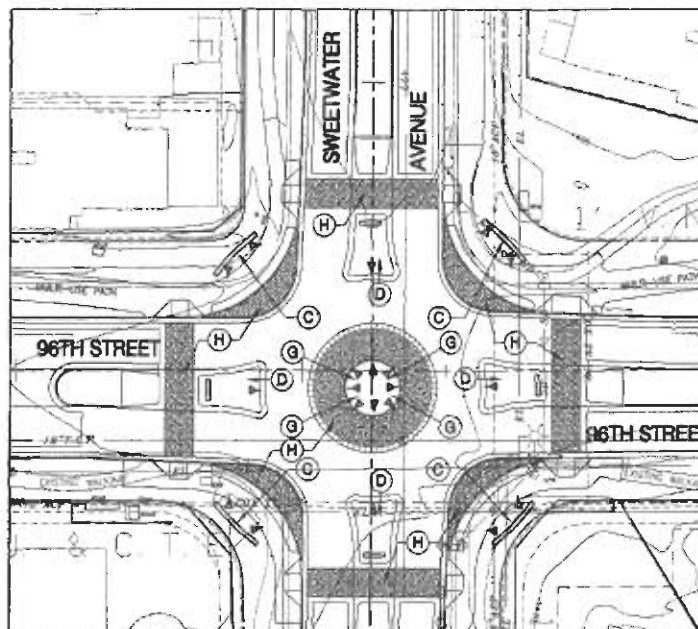


CHOLLA STREET & 96TH STREET ROUND-A-BOUT
PROPOSED MONUMENT LOCATIONS AND ACCENT LIGHTING

SCALE 1"=20'



MONUMENT LOW VOLTAGE LIGHTING SECTION DETAIL
A.T.S.

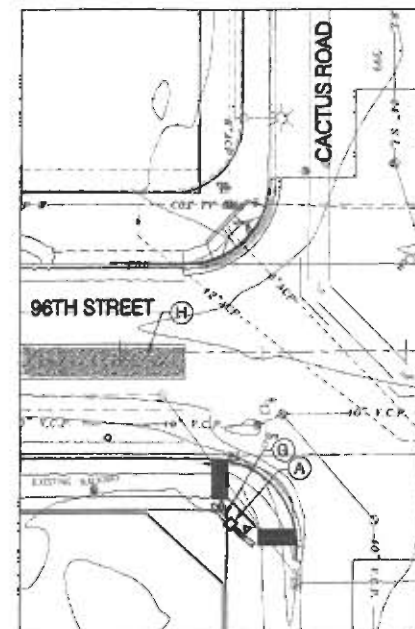


SWEETWATER AVENUE AND 96TH STREET ROUND-A-BOUT
PROPOSED MONUMENT LOCATIONS AND ACCENT LIGHTING

SCALE 1"=20'

LEGEND

- (A) CACTUS ACRES MONUMENT
(REFER TO DETAIL ON SHEET MD-2)
- (B) CACTUS ACRES PILLAR
(REFER TO DETAIL ON SHEET MD-2)
- (C) 20' ACCENT WALL
(REFER TO DETAIL ON SHEET MD-2)
- (D) 10' ACCENT WALL
(REFER TO DETAIL ON SHEET MD-2)
- (E) ACCENT PILLAR
(REFER TO DETAIL ON SHEET MD-2)
- (F) TRAIL MARKER
(REFER TO DETAIL ON SHEET MD-2)
- (G) EQUESTRIAN SILHOUETTE (OPTIONAL)
(REFER TO DETAIL ON SHEET MD-2)
- (H) DECORATIVE PAVEMENT
(REFER TO CIVIL ENGINEERING DRAWINGS)
- (I) NEW 6" MASONRY SCREEN WALL
- ▲ ACCENT LIGHTING
(REFER TO DETAIL ON THIS SHEET)



CACTUS ROAD & 96TH STREET
PROPOSED MONUMENT LOCATIONS AND ACCENT LIGHTING

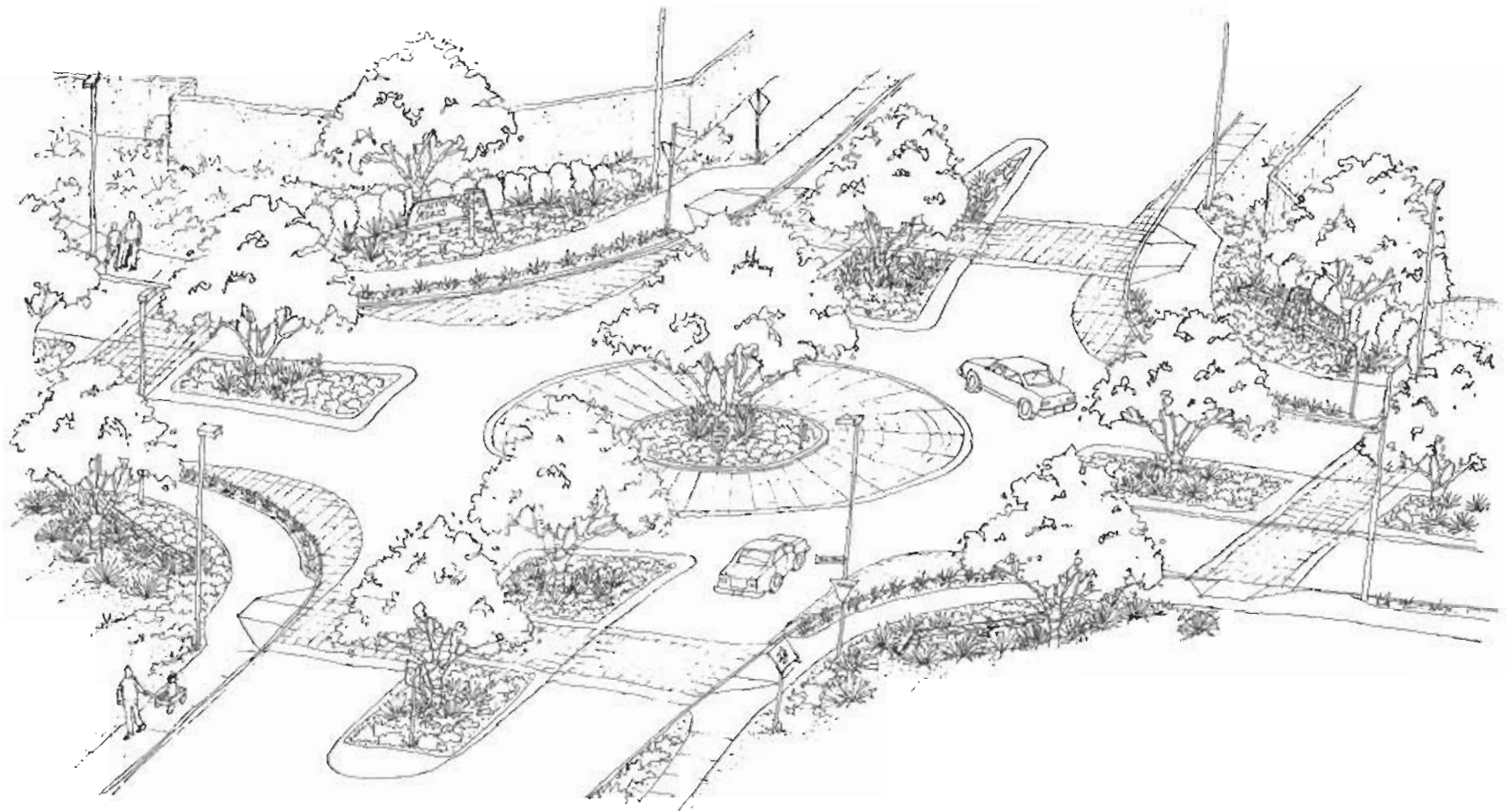
SCALE 1"=20'



MONUMENT DETAILS SHEET MD-1

STATE, LOCAL, AND FEDERAL COMMITTEE	CITY OF SCOTTSDALE	TRANSPORTATION DEPARTMENT OF PLANNING
1447 E. RICHARDSON RD. SCOTTSDALE, ARIZONA 85261		
PROJECT TITLE: 96TH STREET-SHEA BLVD. TO SWEETWATER DR.		
DESIGNED BY: J. MCCLOSKEY	DATE: 03/10/2004	BY: J. MCCLOSKEY
CHECKED BY: J. MCCLOSKEY	DATE: 03/10/2004	BY: J. MCCLOSKEY
APPROVED BY: J. MCCLOSKEY	DATE: 03/10/2004	BY: J. MCCLOSKEY





TYPICAL CACTUS ACRES ROUND-A-BOUT
ARTIST'S CONCEPTUAL RENDERING

575

ELEVATION

SECTION

ELEVATION

ELEVATION

ELEVATION

SECTION

PLAN

PLAN

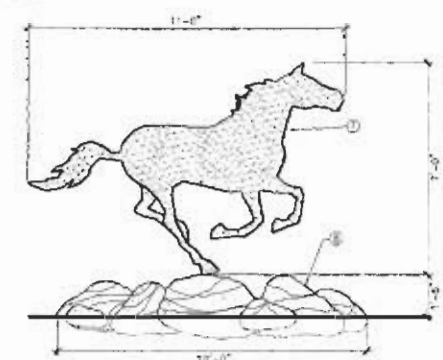
CACTUS ACRES MONUMENT

419

10' ACCENT WALL

5

ACCENT PILLAR
CACTUS ACRES PILLAR



**OPTIONAL
ROUND-A-BOUT EQUESTRIAN SILHOUETTE**

95

MONUMENT, WALL, & EQUESTRIAN SILHOUETTE NOTES:

- ① CORTEN STEEL SIGN PANEL WITH PLASMA CUT LETTERS "CACTUS ACRE" AS SHOWN
- ② PLASMA CUT 3/4" THICK PLATE STEEL CACTUS AFFIXED TO PLATE STEEL SIGN PANEL ALL STEEL TO BE COATED PER SURFACES TO HAVE CERAMIC GLAZE (PURPLE) ALL FLOORS AND BACKS TO HAVE CERAMIC GLAZE (YELLOW)
- ③ 70"-0" LENGTH, 2'-0" HEIGHT x 1'-4" WIDTH DESERT MASONRY WALL
- ④ 10'-0" LENGTH, 2'-3" HEIGHT x 1'-4" WIDTH DESERT MASONRY WALL
- ⑤ 5' HEIGHT DESERT MASONRY OSDELIK PILLAR
- ⑥ DESERT MASONRY STONE/DOOR FINISH ON ALL VISIBLE SURFACES (TYPICAL) STONE VENEER SHALL COVER ALL VISIBLE WALL SURFACES AND EXTEND A MIN. 4" BELOW FINISH GRADE (TYPICAL)
- ⑦ FRESH GRADE
- ⑧ OPTIONAL 3/4" THICK CORTEN STEEL SIGN PANEL WITH PLASMA CUT "HORSE SILHOUETTE" AS SHOWN MOUNTED TO WALL WITH BLACK ANGLE IRON BRACKET CONSIDERING
- ⑨ OPTIONAL ACCELT WALL OR NATURAL BOLDERS MAXIMUM HEIGHT OF ACCELT WALL OR BOLDERS 18" THICK AFTER INSTALLATION

ELEVATION

PLAN

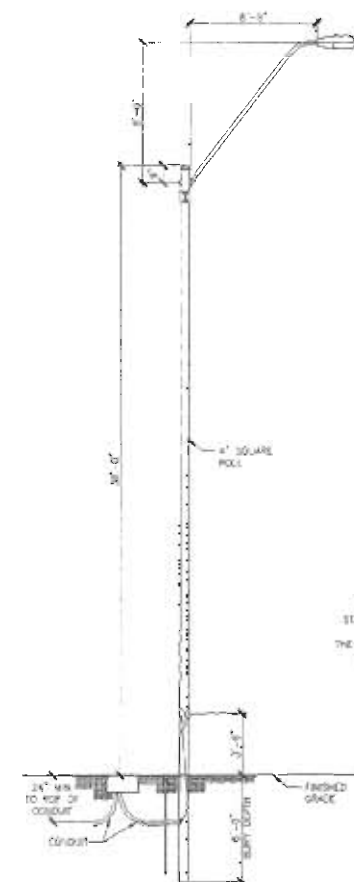
20' ACCENT WALL (NON CACTUS ACRES CORNERS)

N.E.S.

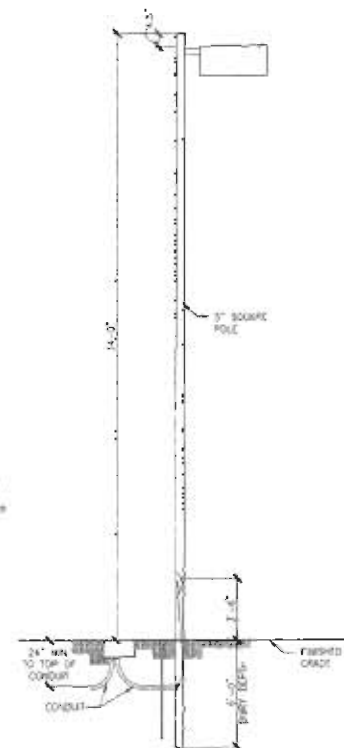
McCloskey • Peltz, Inc.
LANDSCAPE ARCHITECTS

David West, West Coast, Suite J
Thompson, Atlanta 30304-1010
(404) 526-7710 or 526-6777

MONUMENT DETAIL & SHEET MOV



1 STREET LIGHTING NORTH OF CACTUS



2 STREET LIGHTING SOUTH OF CACTUS

POLES, ARMS AND FIGURES ARE
TO BE APS/CITY OF SCOTTSDALE
STANDARD COLOR DARK BRONZE.

COLOR SHOWN IS AN APPROXIMATE REPRESENTATION OF THE
STANDARD COLORS AVAILABLE FOR THE CITY OF SCOTTSDALE FROM
APS (ARIZONA PUBLIC SERVICE).
THE COLOR SHOWN MAY VARY AS A RESULT OF PRINT MANUFACTURER'S
PRODUCT VARIATIONS AND/OR COLOR COPY REPRODUCTION.

**Stipulations for Case:
96th St Improvements: Shea to Redfield
Case 43-DR-2003#2**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Monument details and elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the monument details submitted by McCloskey Peltz, Inc. Landscape Architects with a staff received date of April 16, 2004.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by McCloskey Peltz, Inc. Landscape Architects with a staff received date of April 16, 2004.

WALL/FENCE DESIGN:

DRB Stipulations

2. All exterior conduit and raceways shall be painted to match the structure or monument or pole to which the conduit or raceway is attached or located with.
3. Dooley wall fencing shall not be allowed.
4. The wall shown at the northeast corner of 96th Street and Cholla Road shall be finished on all sides with a masonry finish or stucco treatment. The colors of the wall shall complement the project colors on the outside facing the right of way; and the development colors on the inside facing the private property. Wall finish and materials shall be subject to approval at the time of final plans review.

Ordinance

- A. All wall location, height and dimensions shall conform to the Zoning Ordinance and the City Code.

EXTERIOR LIGHTING DESIGN:

DRB Stipulations

5. Incorporate into the project's design, the following:

Landscape Lighting

- a. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- b. Landscaping lighting shall only be utilized to accent plant material and monuments.
- c. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

RELEVANT CASES:

Ordinance

- B. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case for the subject site was: 43-DR-2003.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

TRAFFIC:

Ordinance

- C. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.